

2.0 SUMMARY

This proposal seeks approval for the form & character of the proposed four storey, 40 unit supportive housing project.

3.0 ADVISORY PLANNING COMMISSION

At a meeting held on March 31, 2009, the APC passed the following motions:

THAT the Advisory Planning Commission support Development Permit Application No. DP09-0015, for 330 Boyce Cr, Lot 2, Plan 3287, District Lot 139, Sec 24, Twp 25, ODYD, by Philip MacDonald Architect Inc., to approve a Development Permit for the form and character of the proposed 4 storey, 40-unit supportive housing building.

4.0 BACKGROUND

The City of Kelowna has partnered with the Canadian Mental Health Association to develop an apartment-style supportive housing project with support services for low-income singles who are at risk of homelessness. The City of Kelowna owns the land which is currently vacant. A Housing Agreement pursuant to Section 905 of the Local Government Act filed in the land title office on the subject property is required as a condition of "group home, major" use.

5.0 THE PROPOSAL

As a result of the Pandosy Street realignment the lane to the north of the subject properties' and a 5m strip along Water Street have been closed and incorporated into the proposed development. In addition, Boyce Crescent will be widened in order to meet the 18.0m Right of Way requirement.

The proposed development fronts onto Pandosy Street, Water Street and Boyce Crescent. A total of 40 units are accommodated within the building on this uniquely configured parcel. The building is oriented towards and treats Pandosy Street as the main frontage. Although the building will primarily consist of coloured hardi-panel siding, the articulation and detailing help to provide visual interest (See material and colour board). The required parking stalls are located at the rear of the building facing Water Street.

The landscape plan indicates that a variety of plantings will be located throughout the site. In particular, a small vegetable garden and seating area will be located next to Pandosy Street. A transparent wrought iron fence will be located around the perimeter of the site.

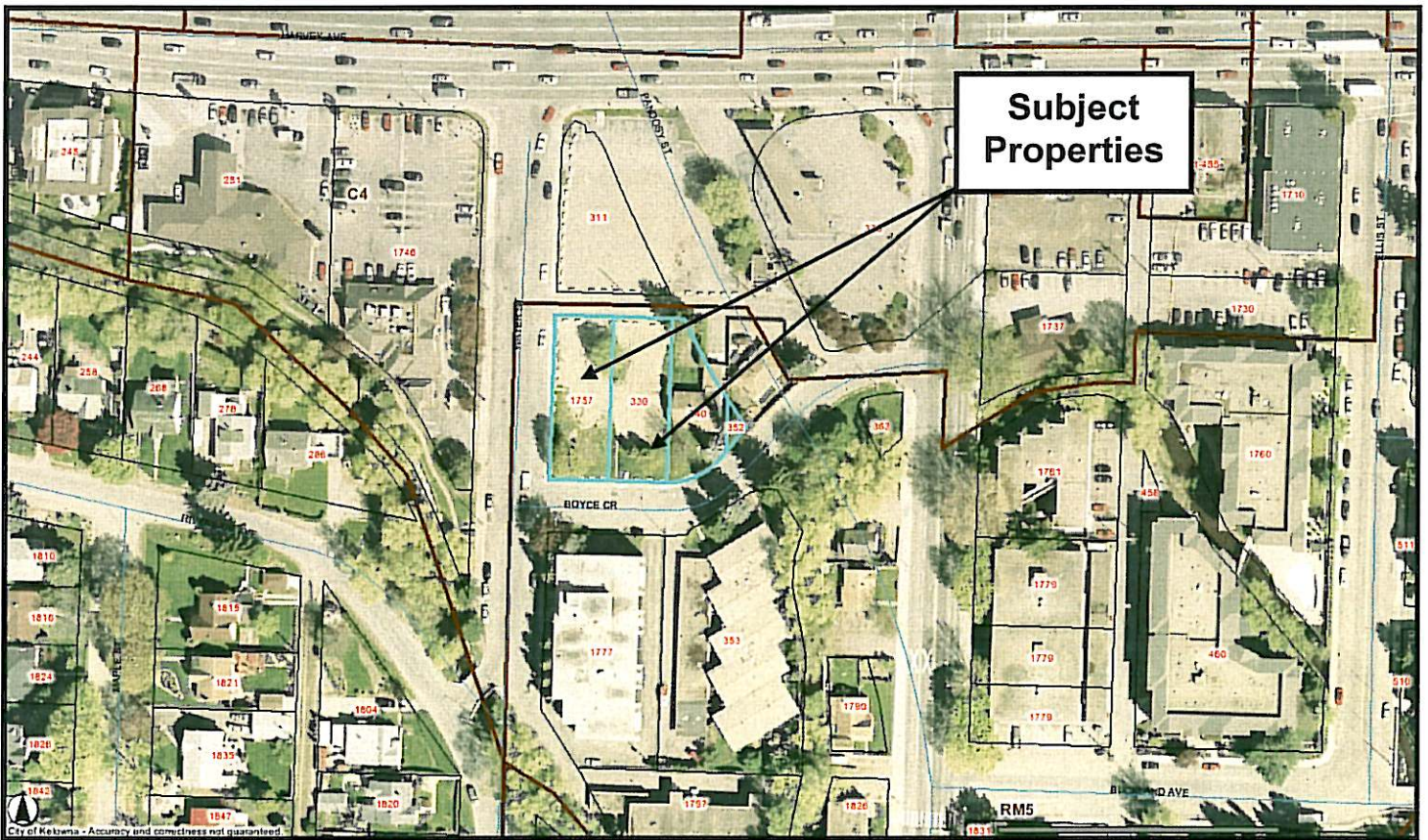
The application complies with the requirements of Zoning Bylaw No. 8000 as follows:

Criteria	Proposal	RM5 Zone Requirements
Subdivision Regulations		
Lot Area	2,245 m ²	460 m ²
Lot Width	Meets Requirement	30.0 m
Lot Depth	Meets Requirement	35.5 m
Development Regulations		
Floor Area Ratio	0.62	1.2
Site Coverage	60%	60%-Buildings/Coverage/Parking
Height	14.3 m / 4 storeys	15.0 m / 4 storeys

Front Yard (Pandosy)	6.0 m	6.0 m
Side Yard (N)	4.5 m	4.5 m
Side Yard (S)	4.5 m	4.5 m
Rear Yard (W)	9.0 m	9.0 m
Other Regulations		
Parking Stalls	14 stalls	13 stalls
Bicycle Parking	Class I: 20 spaces Class II: 4 spaces	Class I: 20 spaces Class II: 4 spaces
Private Open Space	309 m ²	300 m ²

5.1 Site Location Map

Boyce / Pandosy / Water



5.2 Site Context

The subject property is located in the City Centre, the property is designated for future “Multiple Unit Residential – Medium Density” development. The adjacent land uses are as follows:

<i>Direction</i>	<i>Zoning Designation</i>	<i>Land Use</i>
North	C4 – Urban Centre Commercial	Commercial
East	C4 – Urban Centre Commercial	Commercial
South	RM5 – Medium Density Multiple Housing	Residential
West	C4 – Urban Centre Commercial	Commercial

6.0 CURRENT DEVELOPMENT POLICY

6.1 Official Community Plan

8.41 – Affordable and Special Needs Housing – Encourage the private sector to provide housing that is innovative and affordable and that is targeted to groups identified in the Housing Study, a Housing Reserve Fund Bylaw, or in a list published by the City.

8.44 – Integration – Encourage the sensitive integration of different housing forms in the various sectors of the City, in support of neighbourhood diversity and healthy communities.

8.50 – Housing in the Urban Corridor – A more varied housing supply and means of increasing affordability should be actively sought for the neighbourhoods surrounding and including the Urban Town Centres and the Highway 97 corridor extending to the north boundary of the City, north, south and east of Highway 97 as it changes to a northerly direction.

6.2 Objectives for Development within Urban Centres (OCP Chapter 6)

- All development should be an appropriate response to its physical context, or anticipated future context where an area is designated for increased density or land use transition in the OCP.
- All development should contribute to the creation of pedestrian-oriented streets and public spaces (connections, social interaction).
- All development should contribute to a sense of community identity and sense of place (integration of development within larger community, belonging, community cohesiveness).
- All development should facilitate access by, and minimize conflicts among pedestrian, bicycle, and vehicular modes of transportation (access, mobility).
- All development should promote safety and security of persons and property within the urban environment (CPTED).

Access

- Design should facilitate pedestrian and bicycle access.
- Vehicle access and on-site circulation should minimize interference with pedestrian movement
- Vehicle access from arterial or collector roads is discouraged. Where possible, such access should be achieved from a local road or lane.
- Pedestrian access should be clearly marked.

Ancillary Services/Utilities

- Loading, garbage and other ancillary services should be located at the rear of buildings.
- Utility service connections should be screened from view.

Building Massing

- Commercial, industrial and multiple-unit residential developments should be sensitive to and compatible with the massing and rhythm of the established streetscape. Detailed design features of existing buildings should be emulated if such features are of design value.
- Commercial, industrial, and multiple-unit residential developments should have no more than a one storey height gain between adjacent uses within 5.0 m of the

side property line where the adjacent property is not designated for higher density redevelopment.

Parking

- Parking areas should, wherever possible and safe, be located either under buildings or at the rear or side of main buildings.
- Pedestrian circulation areas within parking lots should be convenient and clearly identified, preferably with distinct paving and/or landscaping treatment.

Relationship to the Street

- Buildings containing uses attracting visits from the general public should be located as close to the front property line as practical and as permitted under prevailing zoning regulations.
- People-oriented facilities (store entrances, café seating areas, displays, signage) should be focused along public streets and in front of buildings.
- Storefronts should incorporate large windows such that passers-by can see in and occupants can “look out”.
- Awnings or overhangs should be included, where suitable, to provide sheltered environments for pedestrians and to aid in energy conservation.
- Buildings at key intersections should be designed to highlight the corner. Design treatments could include setbacks at the corner, accentuated entrances and additional height using, for instance, towers and cupolas.

Walls

- End walls visible from a public street or residential lot should be finished to provide an attractive appearance. Blank or solid walls (without glazing) should not be longer than 5 m.

7.0 TECHNICAL COMMENTS

7.1 Building & Permitting

Dining/lounge on main floor requires two exits. No building code issues that effect form and character of proposed building. Building elevation to be above high water mark level of mill creek.

7.2 Development Engineering Branch

See Attached

7.3 Fire Department

- There appears to be inadequate exiting in the lounge/eating area.
- Fire protection information not provided. It appears fire flows for the complex will not be met. Engineered fire flows are required to determine if existing hydrants/fire flows are adequate and if additional hydrants/fire flows are required.
- Detailed building code analysis (detail equivalencies, if any) required for proposed building at permit stage; to include exiting, fire protection information, occupancy class, building height, construction type, among other things.

We are now asking for the following information in regards to sprinkler systems:

- Schedule B-2, 5.1: Suppression system classification for type of occupancy is required and must be submitted to the Kelowna Fire Department; as well this

information is to be retained in the appropriate section of the building's Fire Safety Plan

- Schedule B-2, 5.7 and NFPA 13: Notice to the Kelowna Fire Department Prevention Branch for their attendance during the conducting of the Acceptance test is required.
- Schedule B-2, 5.7 and NFPA 13: Copies of the Acceptance tests and Contractor's Material & Test Certificates must be submitted to the Kelowna Fire Department; in addition copies are to be retained in the appropriate section of the building's Fire Safety Plan.
- Schedule B-2, 5.8: Maintenance program and manual for the suppression system must be submitted to the Kelowna Fire Department (electronic format if possible); in addition copies are to be retained in the appropriate section of the building's Fire Safety Plan.

8.0 LAND USE MANAGEMENT DEPARTMENT COMMENTS

The Land Use Management Department is supportive of this proposal. Fostering the sensitive integration of a wide variety of housing forms is a strong civic objective. Located within the City Centre this project helps to provide a needed form of housing in a central location. Developing these vacant properties will also help to revitalize the area which has been underutilized since the Pandosy Street realignment. A well designed building in this location will help to increase the overall security of the area. Adding additional residents will increase the level of activity and will help to provide more eyes on the street.

The garden and plaza space will provide private open space for the tenants. The proposed development is an innovative design response to a difficult site. The building's articulation reduces the massing and allows for a more sensitive height transition to the adjoining properties. The proposed material and colour usage provides visual interest and the building will use high quality materials that will help to create a sense of ownership for the tenants. In order to soften the proposed concrete wall facing Pandosy Street the applicant has agreed to plant vines along the length of the wall.

fa. 

Danielle Noble
Urban Land Use Manager

Approved for Inclusion 

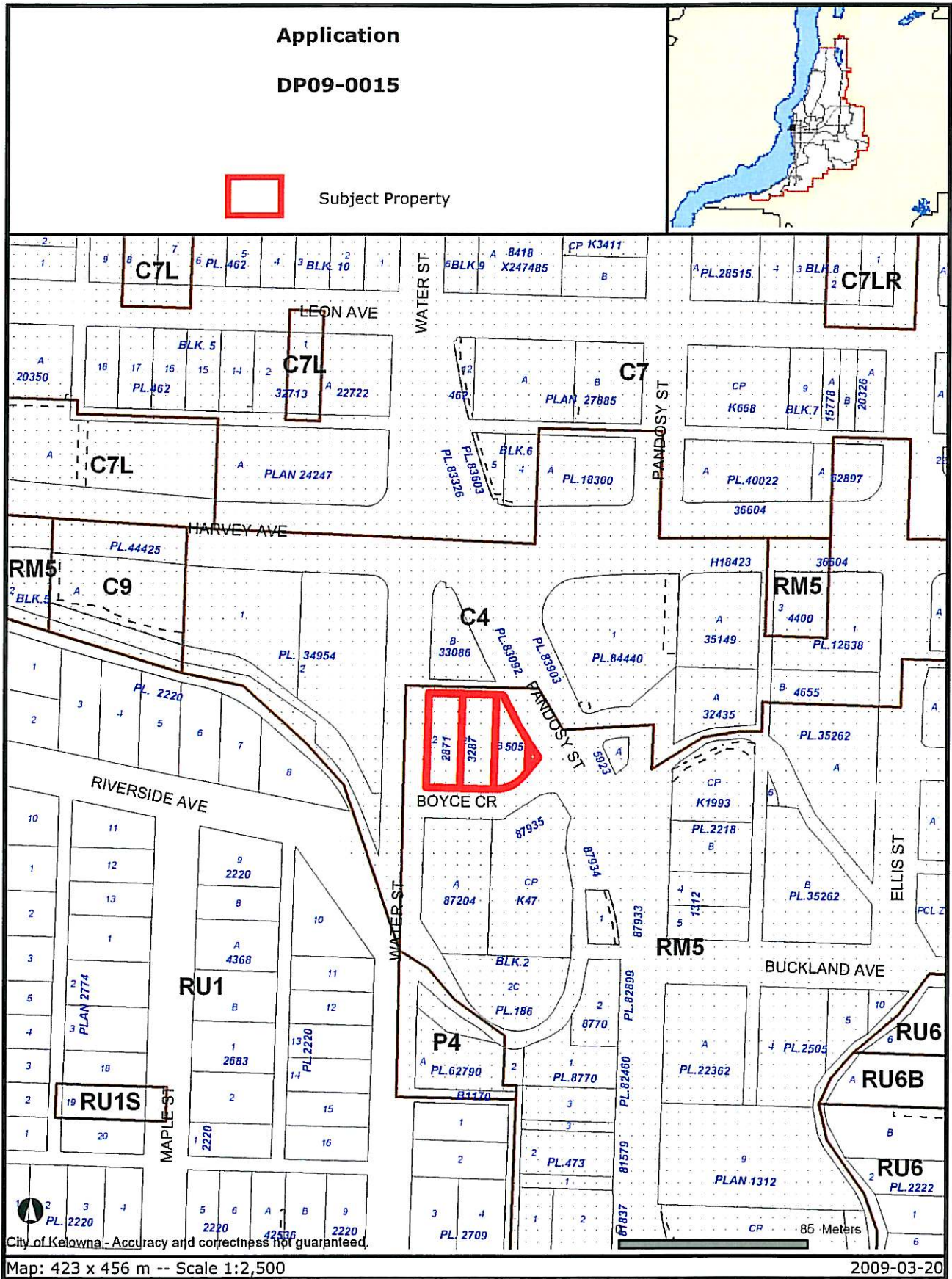
Shelley Gambacort
Director of Land Use Management

SG/DN/aw

ATTACHMENTS

- Location Map
- Site Plan & Elevations
- Colour & Materials Board
- Elevations
- Site/Landscape Plan



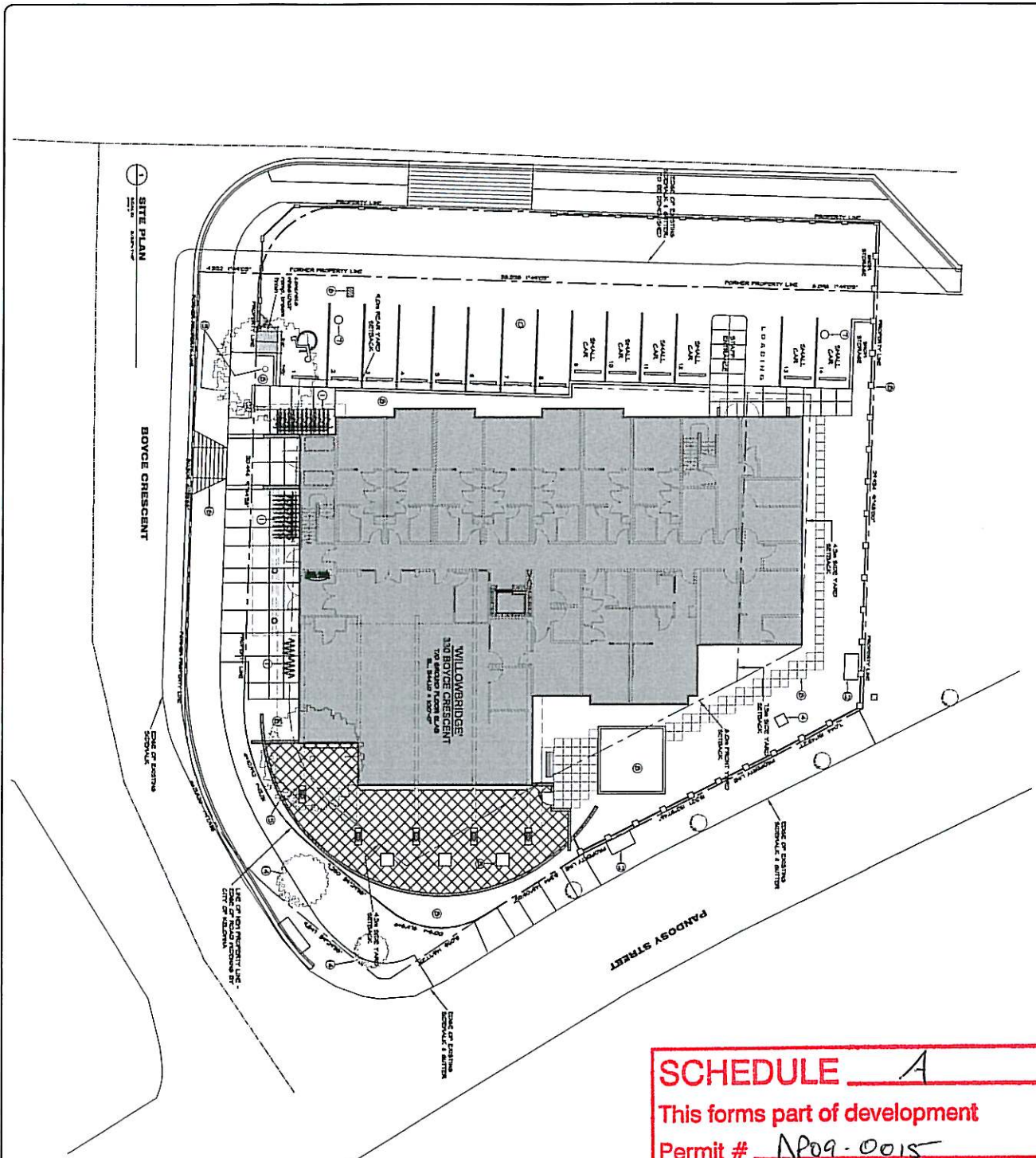


City of Kelowna - Accuracy and correctness not guaranteed.

Map: 423 x 456 m -- Scale 1:2,500

2009-03-20

Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.



SCHEDULE A
 This forms part of development
 Permit # DPO9-0015

- Civic Address:**
 330 BOYCE CRESCENT, COXIMA, B.C.
- LEGAL DESCRIPTION:**
 PORTLANDING SITE PLAN OF LOT 2, PARCEL 10, RECONVIA BC CANADA V1W 4J7
- SURVEY NOTES:**
 SURVEY DATA FROM THE 1988 SURVEY OF THE PORTLANDING SITE PLAN OF LOT 2, PARCEL 10, RECONVIA BC CANADA V1W 4J7, IS USED TO LOCATE THE EXISTING UTILITY LINES AND TO LOCATE THE EXISTING FOUNDATION OF THE EXISTING BUILDING. THE SURVEY DATA IS USED TO LOCATE THE EXISTING UTILITY LINES AND TO LOCATE THE EXISTING FOUNDATION OF THE EXISTING BUILDING.
- GENERAL NOTES:**
 1. REMOVE ALL EXISTING CURBS, ASPHALT, GRAVEL, SAND AND ALL OTHER MATERIALS ON SITE AS SHOWN. REMOVE EXISTING FOUNDATION OF THE EXISTING BUILDING AND SET NEW FOUNDATION.
 2. FLOOR OF CONSTRUCTION FOR SEPARATION OF FLOOR FROM EXISTING FOUNDATION SHALL BE 100mm ABOVE FINISH GRADE. FLOOR OF CONSTRUCTION FOR SEPARATION OF FLOOR FROM EXISTING FOUNDATION SHALL BE 100mm ABOVE FINISH GRADE.
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PROJECT TITLE:
 Willowbridge
 40-unit
 TRANSITIONAL
 HOUSING

PROJECT LOCATION:
 330 BOYCE CRESCENT, COXIMA, B.C.

DATE:
 15/04/2015

DESIGNED BY:
 PHILIP MACDONALD ARCHITECT INC.

DRAWN BY:
 PHILIP MACDONALD ARCHITECT INC.

CHECKED BY:
 PHILIP MACDONALD ARCHITECT INC.

DATE:
 15/04/2015

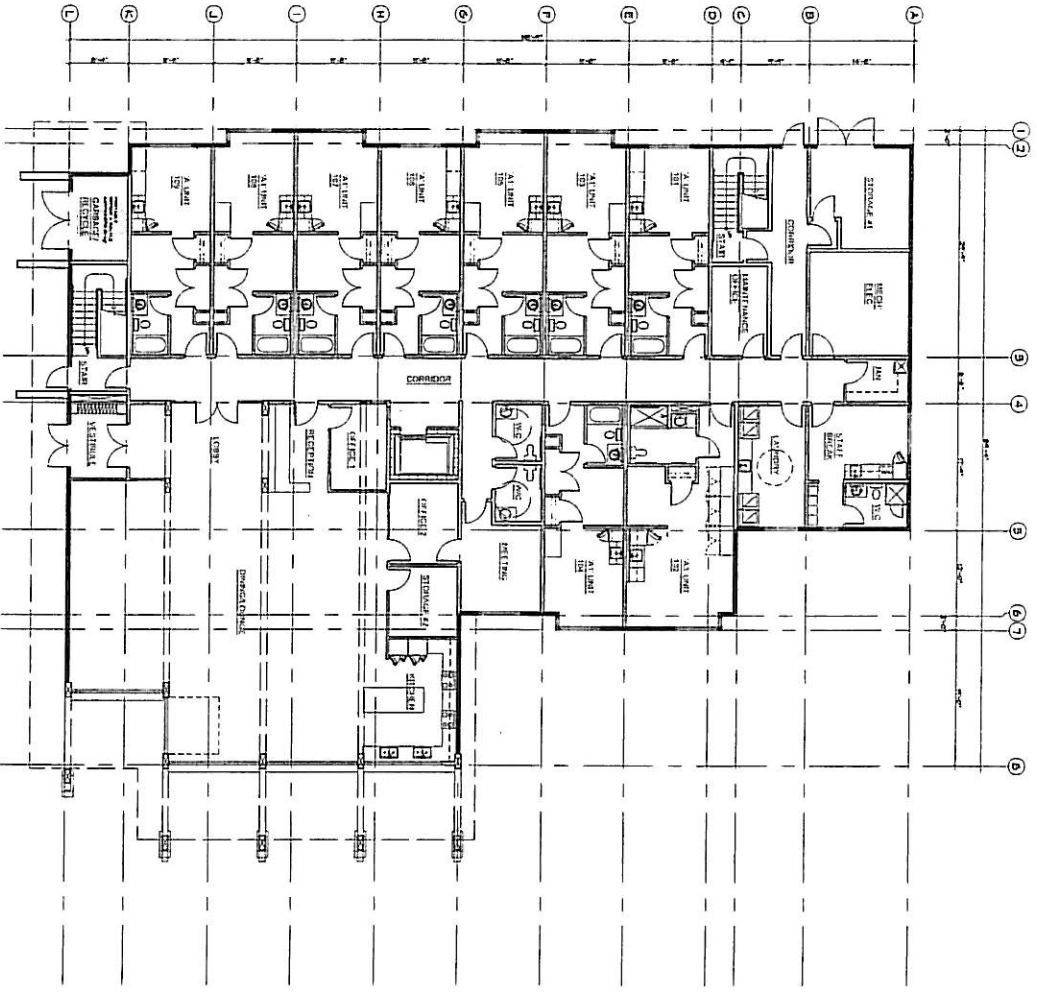
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SHEET NUMBER:
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PHILIP MACDONALD ARCHITECT INC.
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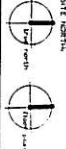
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**PHILIP
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INC**



GENERAL CONDITIONS
This set of drawings shall be read in conjunction with the General Conditions of Contract for Construction, published by the British Columbia Building Association, and the Standard Conditions of Contract for Construction, published by the Canadian Building Association.

ARCHITECT SCALE:

DATE	ISSUED FOR
20-08-2008	Issued for O.D.
15-08-2008	Issued for Review - 1/2
10-08-2008	Issued for Review - 1/2
05-08-2008	Issued for Review - 1/2
01-08-2008	Issued for Review - 1/2
28-07-2008	Issued for Review - 1/2
25-07-2008	Issued for Review - 1/2
22-07-2008	Issued for Review - 1/2
19-07-2008	Issued for Review - 1/2
16-07-2008	Issued for Review - 1/2
13-07-2008	Issued for Review - 1/2
10-07-2008	Issued for Review - 1/2
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01-07-2008	Issued for Review - 1/2

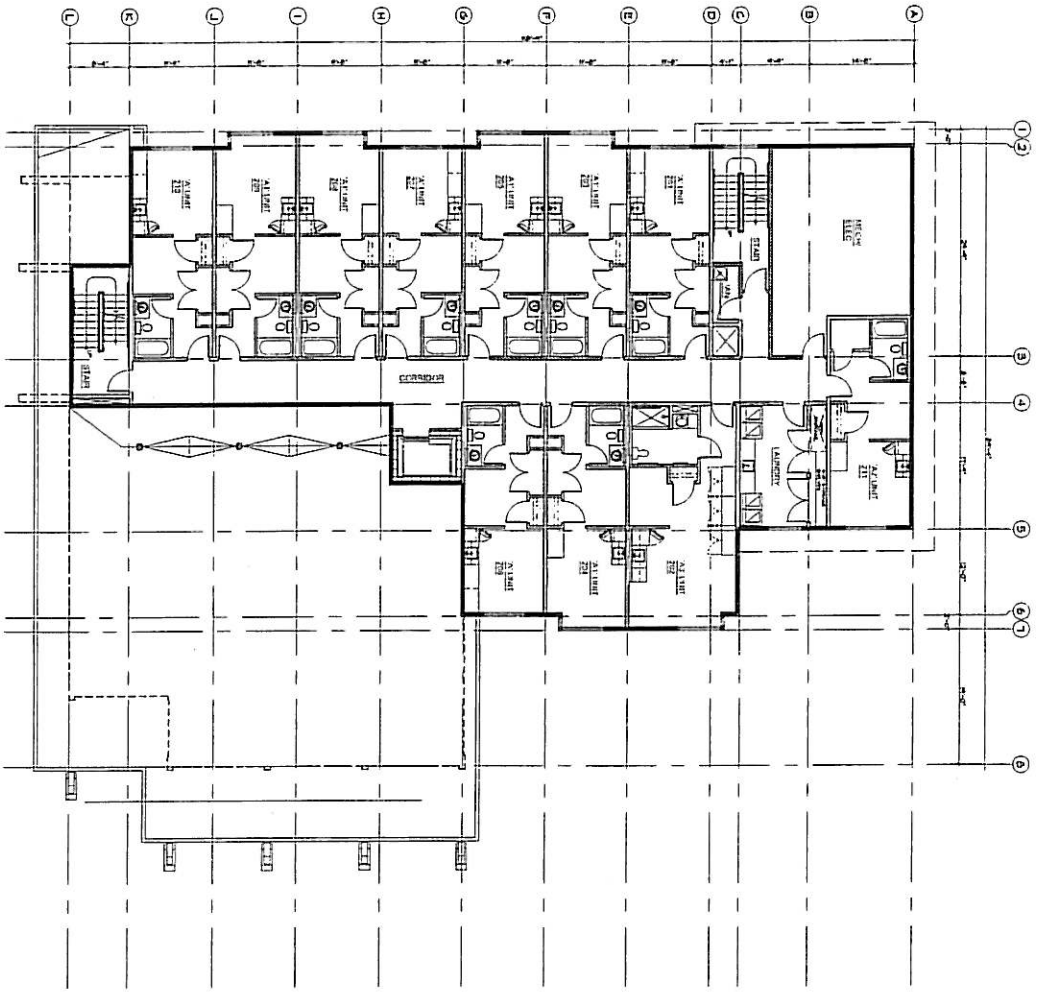
PROJECT TITLE:
Willowbridge
40-Unit
TRANSITIONAL
HOUSING

220 West Victoria Street, Kelowna, BC
Canadian Heritage Institute
Association of Kelowna
40 HOUSING

SHEET TITLE:
MAIN FLOOR PLAN

DATE: 20-08-2008
SCALE: 1/8" = 1'-0"
PROJECT NO.: 08-001
DRAWN BY: P.M.
CHECKED BY: P.M.

P-2



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330 UIRLANDS DR
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PRAIRIERECT@ISHAW.CA

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DATE: 1998.07.01
REVISION:

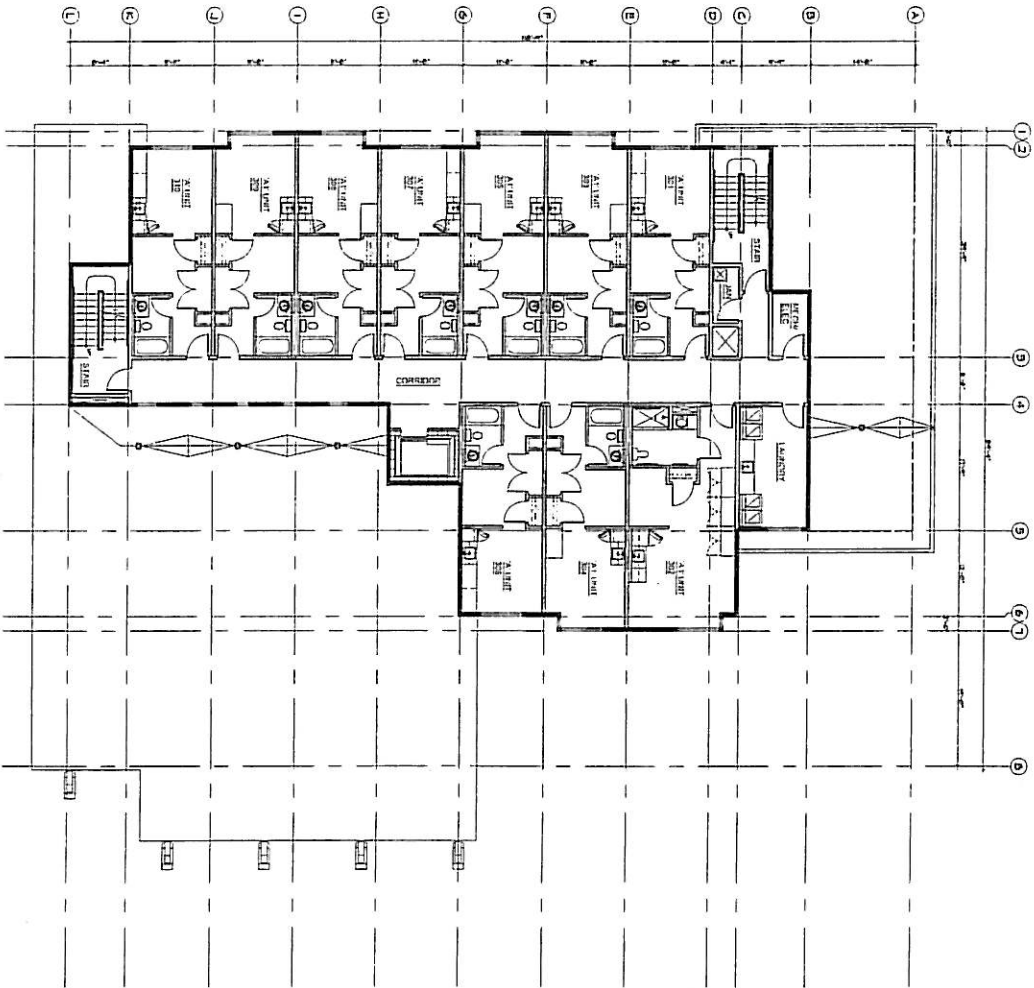
NO.	DATE	REVISION
1		Issued for Construction
2		Issued for Building Permit
3		Issued for Owner's Use
4		Complete Working

PROJECT TITLE:
Windwardridge
40-Unit
TRANSITIONAL
HOUSING
250 West Avenue, Victoria, BC
Canadian Mental Health
Association - Kelowna
BC HOUSING

SHEET TITLE:
SECOND FLOOR
PLAN

DATE: 1997.07.01
DATE: 20.07.01
DATE: 08.11.02
DATE: 11.01.03
DATE: 11.01.03

P-3



<p>PHILIP MACDONALD ARCHITECT INC.</p> <p>318 UPLANDS DR. KELOWNA, B.C. CANADA V1W 4J7 TEL (250) 764-4157 FAX (250) 764-4857 PHILIP@CSHAW.CA</p>	<p>PHILIP MACDONALD ARCHITECT INC.</p> <p>318 UPLANDS DR. KELOWNA, B.C. CANADA V1W 4J7 TEL (250) 764-4157 FAX (250) 764-4857 PHILIP@CSHAW.CA</p>	<p>PHILIP MACDONALD ARCHITECT INC.</p> <p>318 UPLANDS DR. KELOWNA, B.C. CANADA V1W 4J7 TEL (250) 764-4157 FAX (250) 764-4857 PHILIP@CSHAW.CA</p>	<p>PHILIP MACDONALD ARCHITECT INC.</p> <p>318 UPLANDS DR. KELOWNA, B.C. CANADA V1W 4J7 TEL (250) 764-4157 FAX (250) 764-4857 PHILIP@CSHAW.CA</p>	<p>PHILIP MACDONALD ARCHITECT INC.</p> <p>318 UPLANDS DR. KELOWNA, B.C. CANADA V1W 4J7 TEL (250) 764-4157 FAX (250) 764-4857 PHILIP@CSHAW.CA</p>
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P-4

SHEET NUMBER

DATE: 15/05/2007
 DRAWN BY: J.M.
 CHECKED BY: J.M.
 PROJECT TITLE: **WILLOWBRIDGE 40-UNIT TRANSITIONAL HOUSING**
 CONSULTING: **MANITOK CONSULTING SERVICES INC.**
 CONSULTING: **MANITOK CONSULTING SERVICES INC.**
 CONSULTING: **MANITOK CONSULTING SERVICES INC.**

THIRD FLOOR PLAN

DATE: 15/05/2007

PROJECT TITLE:

THIRD FLOOR PLAN

DATE: 15/05/2007

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DATE: 15/05/2007

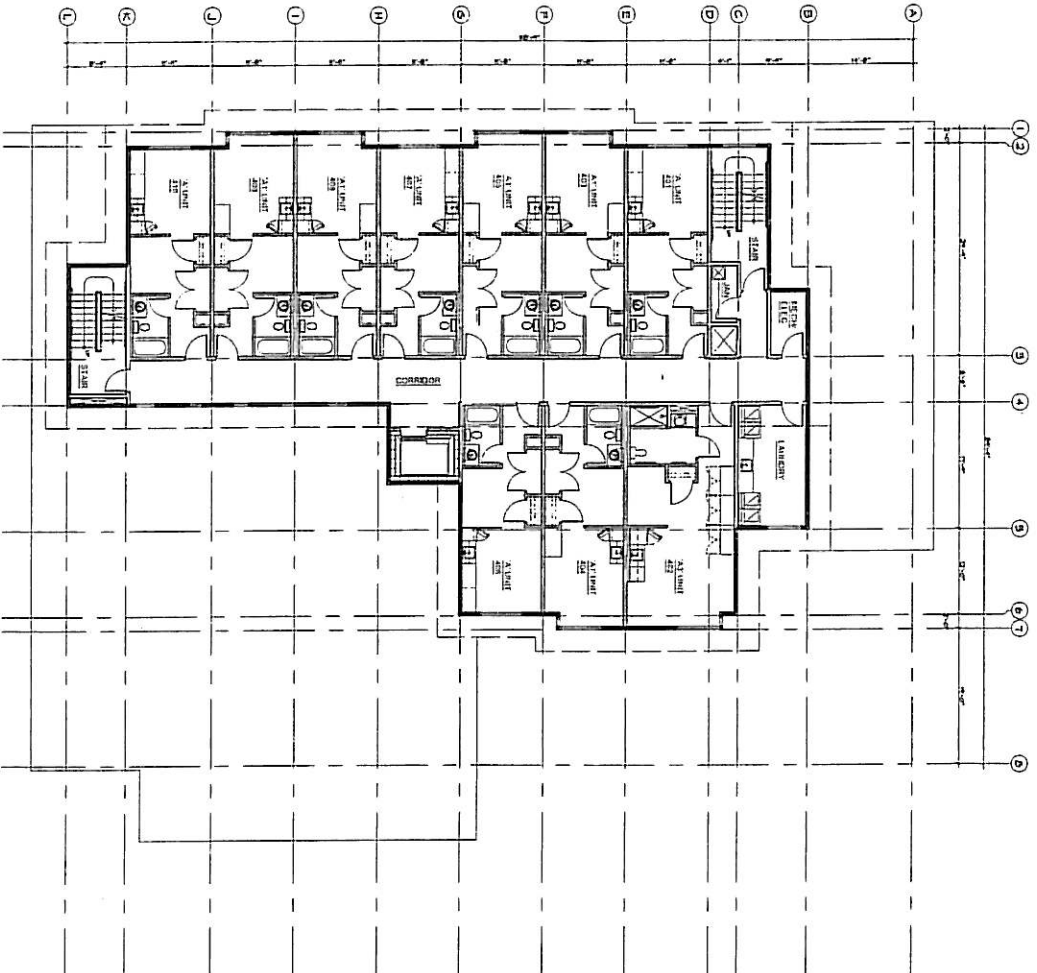
PROJECT TITLE:

THIRD FLOOR PLAN

DATE: 15/05/2007

PROJECT TITLE:

THIRD FLOOR PLAN



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PROJECT TITLE:
Willowridge
40-Unit
TRANSITIONAL
HOUSING
Canadian Mental Health
Association - Kelowna
80 HOWARTH

SHEET NUMBER:
P-5

DATE: ISSUED FOR
2010/08/10
Issued for Construction
Issued for Construction
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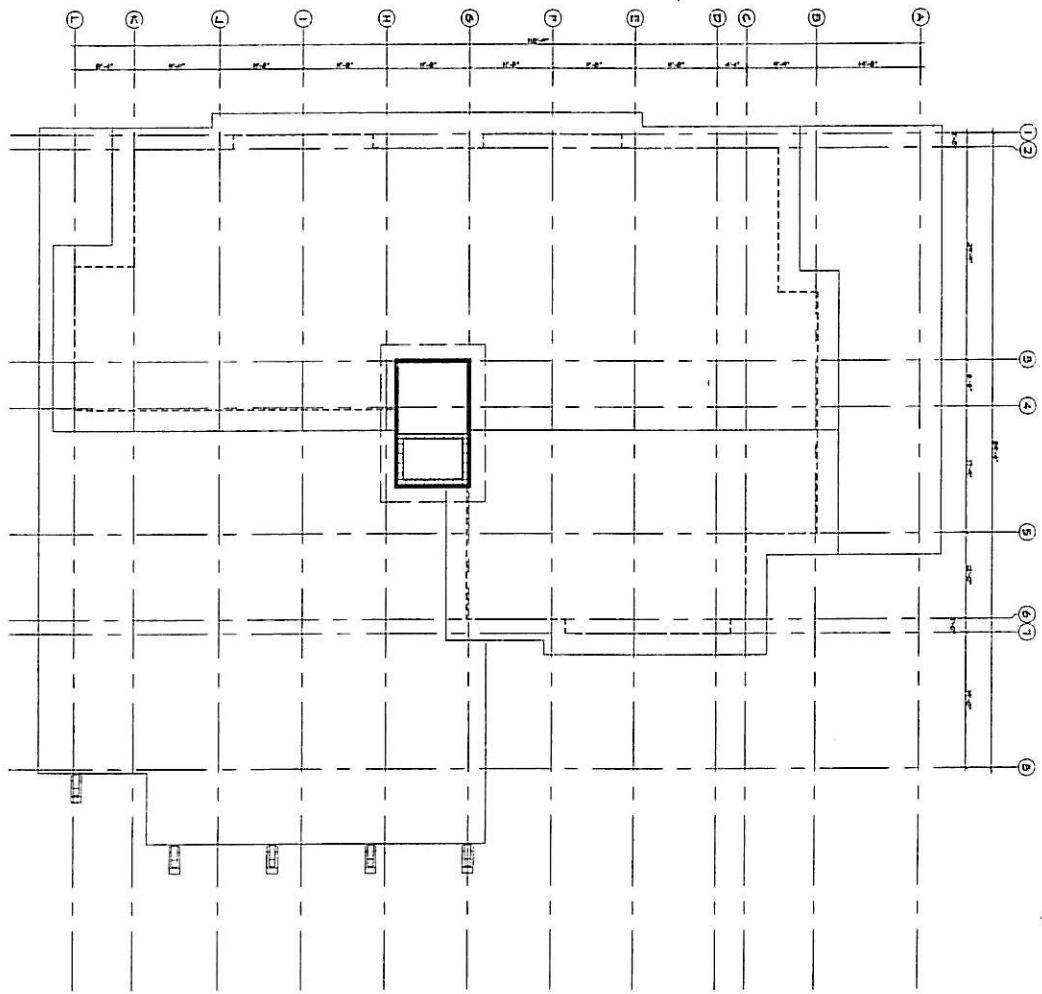
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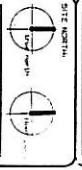
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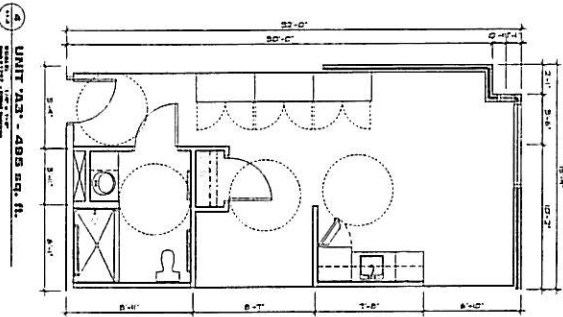
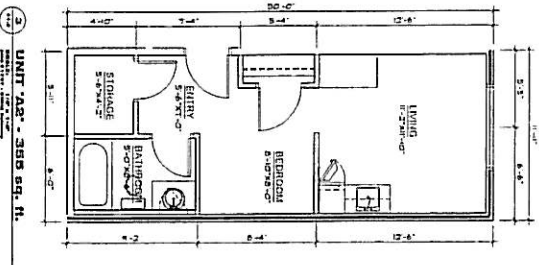
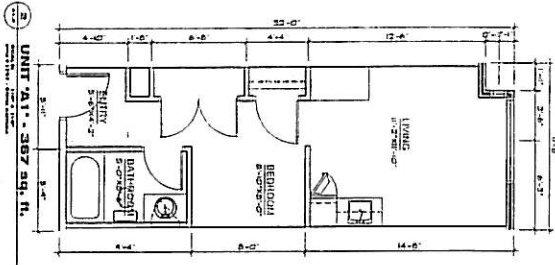
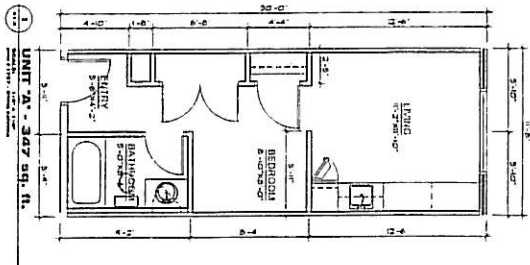
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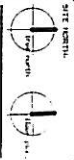
PROJECT TITLE:
 Yellowknife
 40-Unit
 TRANSITIONAL
 HOUSING
 Canadian Standard Plan:
 40-Unit Transitional Housing
 NO HOUSING

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:
P-6



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GENERAL CONDITIONS:
 Check for early all the work shown on this plan. The contractor shall be responsible for the accuracy of the information shown on this plan. The contractor shall be responsible for the accuracy of the information shown on this plan. The contractor shall be responsible for the accuracy of the information shown on this plan.

PROJECT TITLE:
 Yellowbridge
 40-unit
 TRANSITIONAL
 HOUSING

CLIENT:
 Grandeur Residential Homes
 1000 West 10th Street
 Kelowna BC V1Y 1A1
 250.764.4157

DATE:
 2010.01.15

SCALE:
 1/8" = 1'-0"

UNIT PLANS

SHEET TITLE:
 UNIT PLANS

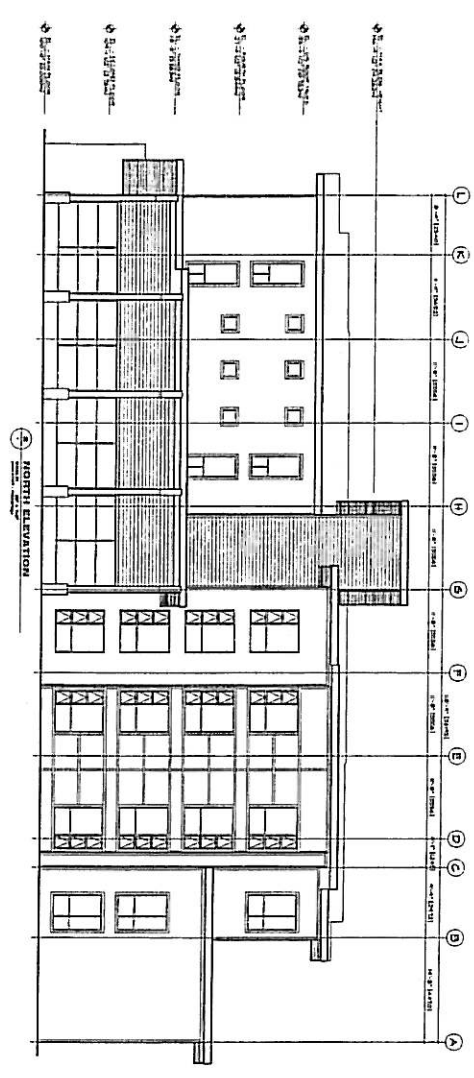
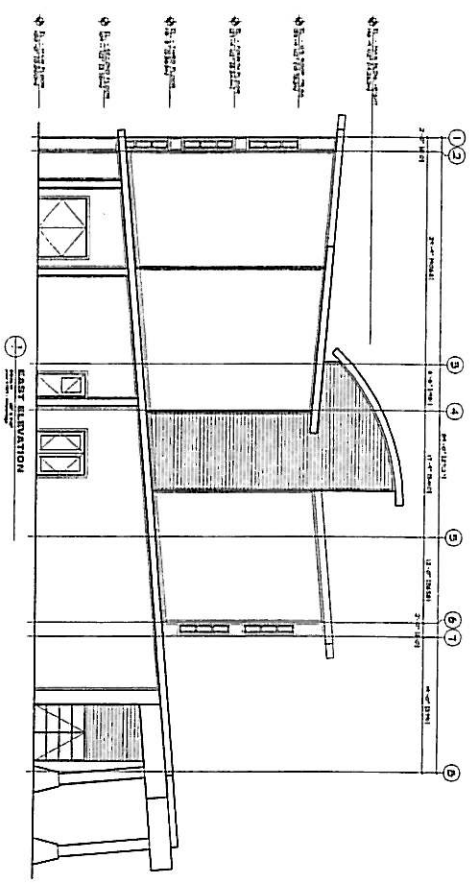
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DESIGNER:
 PHILIP MACDONALD

CHECKED BY:
 PHILIP MACDONALD

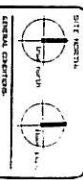
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GENERAL NOTES:

1. Check the work of all trades and subcontractors before starting work.

2. The drawings show the work to be done by the contractor. It is the contractor's responsibility to check the drawings and specifications for any errors or omissions.

3. The contractor shall be responsible for obtaining all necessary permits and approvals.

4. The contractor shall be responsible for the safety of all workers and the public.

5. The contractor shall be responsible for the protection of all existing structures and utilities.

6. The contractor shall be responsible for the disposal of all waste materials.

7. The contractor shall be responsible for the cleanup of the site.

8. The contractor shall be responsible for the maintenance of the site during construction.

9. The contractor shall be responsible for the completion of the project within the specified time frame.

10. The contractor shall be responsible for the payment of all bills and invoices.

ARCHITECT SEAL

DATE	ISSUED FOR
20/01/2017	Issued for Construction
15/01/2017	Issued for Construction
08/01/2017	Issued for Construction
01/01/2017	Issued for Construction
15/12/2016	Issued for Construction
08/12/2016	Issued for Construction
01/12/2016	Issued for Construction
15/11/2016	Issued for Construction
08/11/2016	Issued for Construction
01/11/2016	Issued for Construction
15/10/2016	Issued for Construction
08/10/2016	Issued for Construction
01/10/2016	Issued for Construction
15/09/2016	Issued for Construction
08/09/2016	Issued for Construction
01/09/2016	Issued for Construction
15/08/2016	Issued for Construction
08/08/2016	Issued for Construction
01/08/2016	Issued for Construction
15/07/2016	Issued for Construction
08/07/2016	Issued for Construction
01/07/2016	Issued for Construction
15/06/2016	Issued for Construction
08/06/2016	Issued for Construction
01/06/2016	Issued for Construction
15/05/2016	Issued for Construction
08/05/2016	Issued for Construction
01/05/2016	Issued for Construction
15/04/2016	Issued for Construction
08/04/2016	Issued for Construction
01/04/2016	Issued for Construction
15/03/2016	Issued for Construction
08/03/2016	Issued for Construction
01/03/2016	Issued for Construction
15/02/2016	Issued for Construction
08/02/2016	Issued for Construction
01/02/2016	Issued for Construction
15/01/2016	Issued for Construction
08/01/2016	Issued for Construction
01/01/2016	Issued for Construction

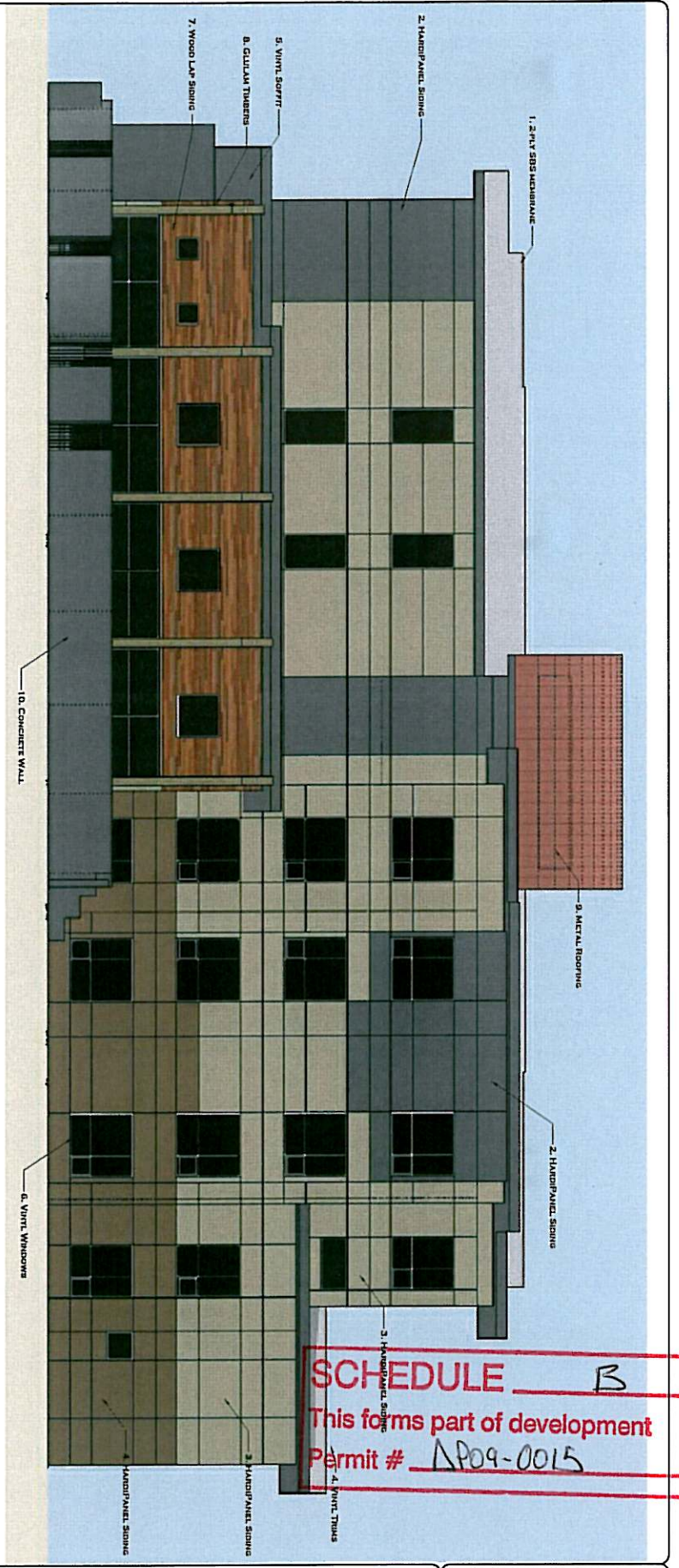
PROJECT TITLE:
WILLOWBURD
GROUP
TRANSITIONAL
HOUSING

336 URBANS DRIVE, SCARBOROUGH, ONTARIO
CANADIAN MENTAL HEALTH
ASSOCIATION - KENNEDY
DC HOUSING

SHEET TITLE:
BUILDING
ELEVATIONS

DATE: 20/01/2017
DRAWN BY: J.S.M.
CHECKED BY: J.S.M.
SCALE: AS SHOWN
SHEET NUMBER: P-9

P-9



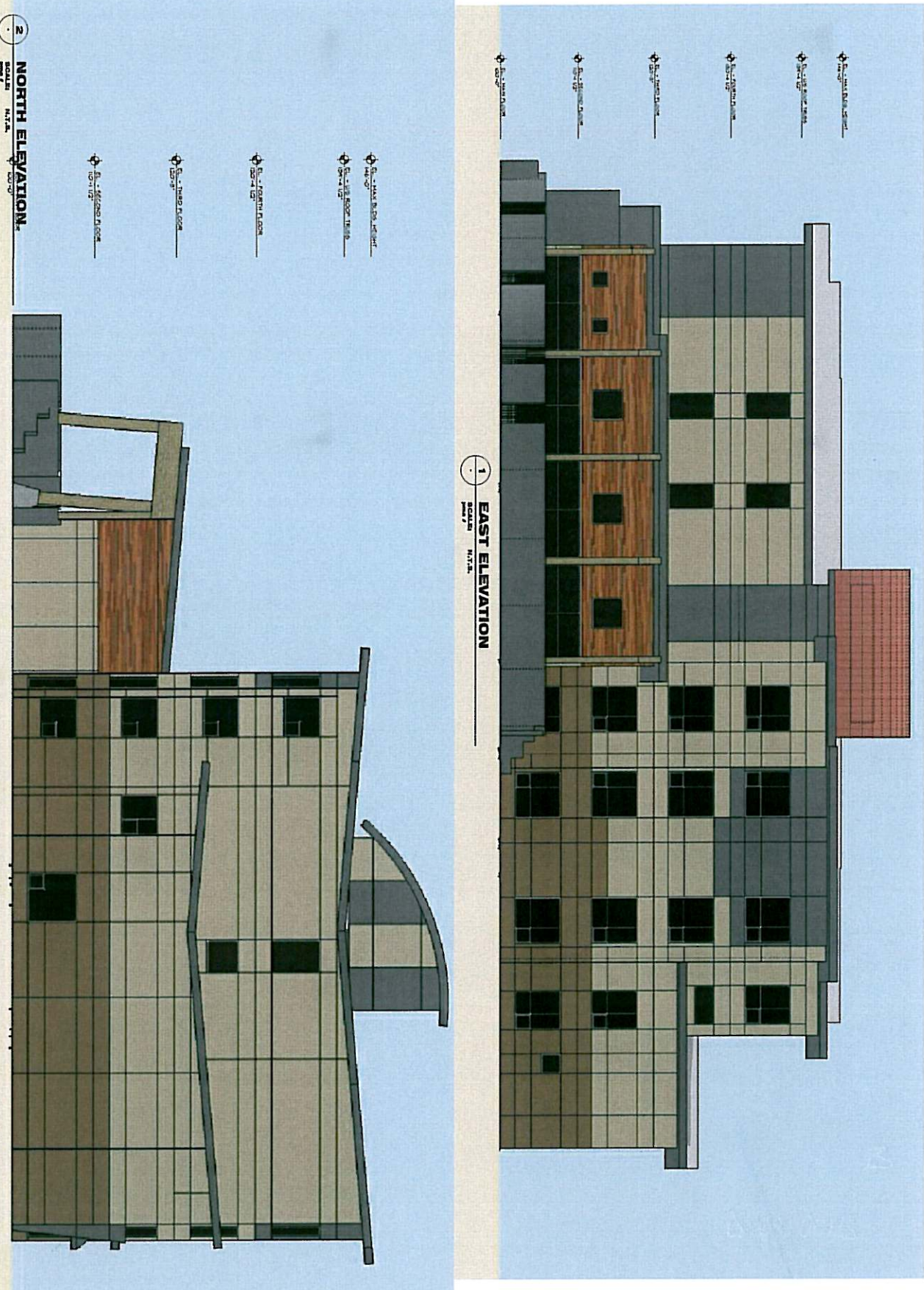
SCHEDULE B
 This forms part of development
 Permit # AP09-0015

- 1. 2-PLY SBS MEMBRANE:
- 2. HARDBOARD SIDING: BENJAMIN MOORE 'GRAY' - "HC-121-10"
- 3. HARDBOARD SIDING: BENJAMIN MOORE 'HUNTINGTON BEIGE' - "HC-217"
- 4. HARDBOARD SIDING: BENJAMIN MOORE 'FARMVIEW TAUPÉ' - "HC-85"
- 5. VINYL SOFFIT: 'CHARCOAL'
- 6. VINYL WINDOWS: GENIOW WINDOWS & DOORS 'WHITE'
- 7. WOOD (FR) LAY SIDING: 'TRANSPARENT STAIN'
- 8. GULLAY THUSERS: VINYL BRUSH FINISH 'TRANSPARENT STAIN'
- 9. METAL ROOFING: STAINLESS STEEL ROOFING 'COLONIAL RED'
- 10. CONCRETE WALL: BLENDED CONCRETE WITH PAINTED METAL BALUSTRADE

PHILIP MACDONALD ARCHITECT INC
 326 UPLANDS DR
 REDOWAN BC
 CANADA V1W 4J7
 TEL (250) 764 4157
 FAX (250) 764 4857
 PHILIP@MACDONALDARCHITECTURE.COM

Widdowidge TRANSITIONAL HOUSING
 2nd Stage Housing, Options for
 Canadian Mental Health Association - Kelowna
 BC HOUSING

P-11



2 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

1 EAST ELEVATION
SCALE: 1/8" = 1'-0"

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GENERAL CONDITIONS:
 The drawings are prepared for the use of the architect and are not to be used for any other purpose without the written consent of the architect. The drawings are the property of the architect and shall remain the property of the architect. The drawings are not to be used for any other purpose without the written consent of the architect. The drawings are the property of the architect and shall remain the property of the architect.

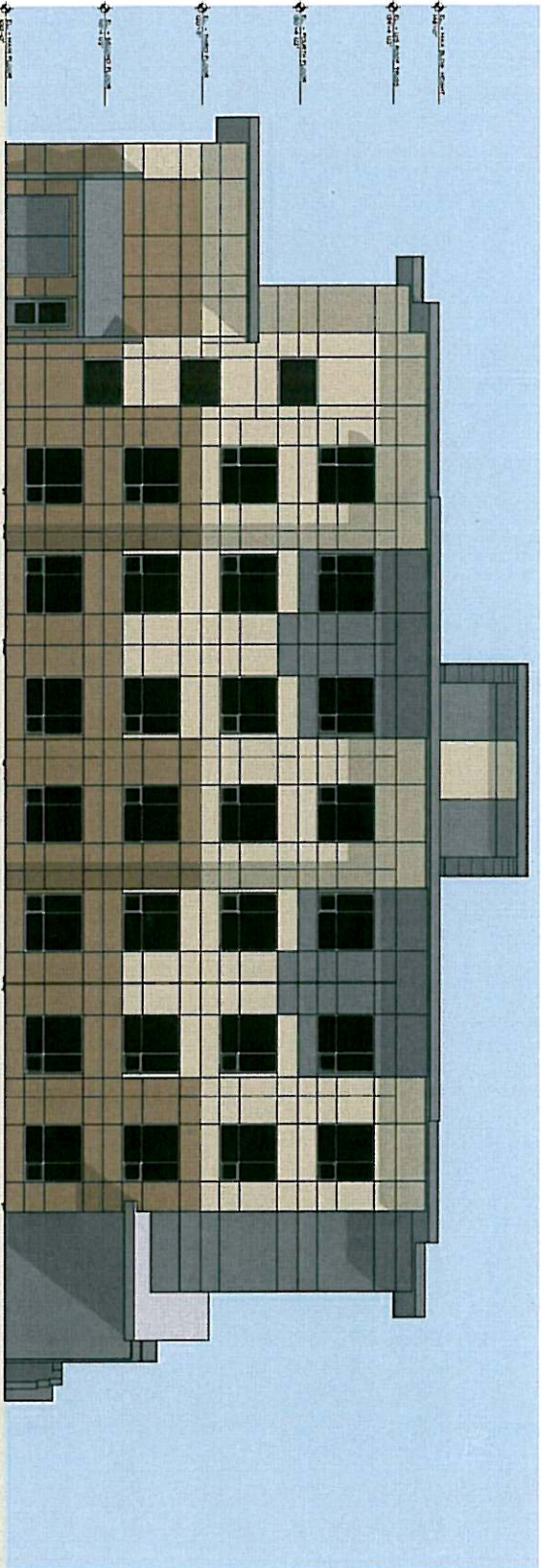
DATE	DESCRIPTION
2017-01-10	Issued for RFP
2017-01-10	Issued for Development
2017-01-10	Issued for Tender
2017-01-10	Issued for Construction
2017-01-10	Revision

PROJECT TITLE:
 Midwaybridge
 Transitional
 Housing
 300 Street Street, Kelowna, BC
 Canadian Mental Health
 Association - Kelowna
 BC Housing

COLOURED ELEVATIONS
 CONSULTANT APPROVED: The drawing is the property of Philip Macdonald Architect Inc. and shall remain the property of Philip Macdonald Architect Inc. The drawing is not to be used for any other purpose without the written consent of Philip Macdonald Architect Inc. The drawing is the property of Philip Macdonald Architect Inc. and shall remain the property of Philip Macdonald Architect Inc.

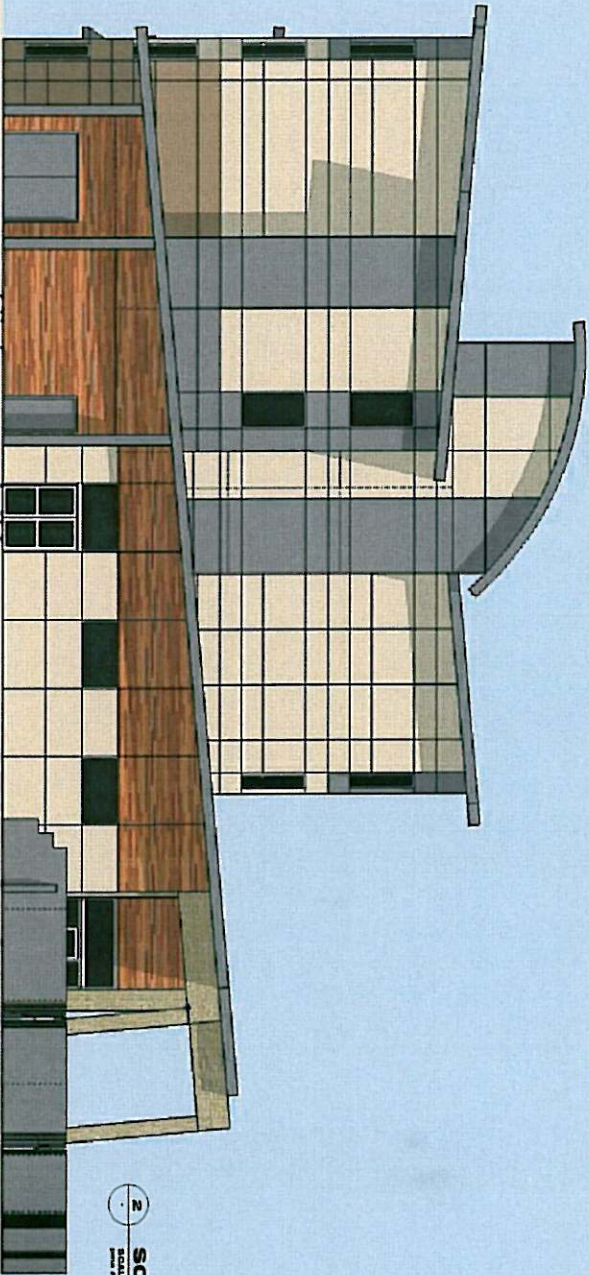
JAB No. 1707-CMA
 DATE: 01/10/17
 SCALE: 1/8" = 1'-0"
 SHEET: 47
 DRAWN: JAB
 CHECKED: JAB

P-12
 SHEET NUMBER:



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

- 1. - 1st FLOOR PLACEMENT
- 2. - 2nd FLOOR PLACEMENT
- 3. - 3rd FLOOR PLACEMENT
- 4. - 4th FLOOR PLACEMENT
- 5. - 5th FLOOR PLACEMENT
- 6. - 6th FLOOR PLACEMENT
- 7. - 7th FLOOR PLACEMENT
- 8. - 8th FLOOR PLACEMENT
- 9. - 9th FLOOR PLACEMENT
- 10. - 10th FLOOR PLACEMENT



2 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

**PHILIP
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PHARCHIT@SHAW.CA



GENERAL CONDITIONS:
This set of drawings is to be used for the design and construction of the building and shall be the property of Philip Macdonald Architect Inc. It is to be used only for the project and site specified herein. It is not to be used for any other project or site without the written consent of Philip Macdonald Architect Inc. The drawings are to be used in accordance with the provisions of the Building Act and the Building Code of Canada. The drawings are to be used in accordance with the provisions of the Building Act and the Building Code of Canada. The drawings are to be used in accordance with the provisions of the Building Act and the Building Code of Canada.

DATE	REVISION
2010-01-15	Issue for Design Development
2010-02-15	Issue for Building Permit
2010-03-15	Issue for Construction
2010-04-15	Issue for Construction
2010-05-15	Issue for Construction
2010-06-15	Issue for Construction
2010-07-15	Issue for Construction
2010-08-15	Issue for Construction
2010-09-15	Issue for Construction
2010-10-15	Issue for Construction
2010-11-15	Issue for Construction
2010-12-15	Issue for Construction

PROJECT TITLE:
Willowbridge
40-UNIT
TRAIL HOUSING

Architect: Philip Macdonald Architect Inc.
336 UPLANDS DR
RELOWNA BC
CANADA V1W 4J7
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PHARCHIT@SHAW.CA

COLOURED ELEVATIONS

1. - 1st FLOOR PLACEMENT

2. - 2nd FLOOR PLACEMENT

3. - 3rd FLOOR PLACEMENT

4. - 4th FLOOR PLACEMENT

5. - 5th FLOOR PLACEMENT

6. - 6th FLOOR PLACEMENT

7. - 7th FLOOR PLACEMENT

8. - 8th FLOOR PLACEMENT

9. - 9th FLOOR PLACEMENT

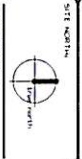
10. - 10th FLOOR PLACEMENT

P-13



PHILIP
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PMARCHIT@UBW.CA



DATE: 2010.05.15
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT: [Name]
SHEET: [Number]
SCALE: [Scale]

NO.	DATE	REVISION

Product Title: Willowridge
Residential
Townhome
Housing

Prepared for: [Name]
Prepared by: [Name]

Client Name: [Name]
Client Address: [Address]
Client Phone: [Phone]

Sheet Title: RENDERINGS

Scale: 1/8" = 1'-0"

Drawn by: [Name]
Checked by: [Name]

Sheet Number: P-14



**PHILIP
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 PHILIP@MACDONALDARCHITECTURE.COM



DRAWING CONDITIONS:
 This drawing is a conceptual rendering and is not to be used for construction. It is provided for informational purposes only. The architect does not warrant the accuracy of the information contained herein. The architect shall not be responsible for any errors or omissions in this drawing. The architect shall not be responsible for any construction or other work done in reliance on this drawing. The architect shall not be responsible for any construction or other work done in reliance on this drawing.

DATE	ISSUED FOR
20-01-2018	Issue for B.C.
11-04-2018	Design Development
	Issue for Building Permit
	Issue for Tender
	Issue for Construction
	REVISIONS

PROJECT TITLE:
**Willowbridge
apartment
TOWNHOMES**
 336 UPLANDS DRIVE, KELOWNA, BC
 CONSULTING ARCHITECT
 PHILIP MACDONALD ARCHITECTURE
 336 UPLANDS DRIVE, KELOWNA, BC

SHEET TITLE:

RENDERINGS

CONTRACT AGREEMENT: This drawing is a conceptual rendering and is not to be used for construction. It is provided for informational purposes only. The architect does not warrant the accuracy of the information contained herein. The architect shall not be responsible for any errors or omissions in this drawing. The architect shall not be responsible for any construction or other work done in reliance on this drawing.

SHEET NUMBER:
P-15



PHILIP
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TEL (250) 764 4157
FAX (250) 764 4897
PMAC@CTEBCOMM.CA



DATE: 1998.08.04
 DRAWN BY: J. Macdonald
 CHECKED BY: J. Macdonald
 PROJECT: 40-unit Transitional Housing
 SHEET: P-16
 SCALE: 1/8" = 1'-0"

NO.	DATE	DESCRIPTION
1	1998.08.04	Issue for Construction
2		
3		
4		
5		

PROJECT TITLE:
 40-unit
 TRANSITIONAL
 HOUSING
 326 UPLANDS DRIVE, MELBOWA, BC
 CONSULTANT: Philip Macdonald
 ARCHITECT

RENDERINGS

PHILIP MACDONALD ARCHITECT INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION CONTAINED HEREIN. THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE.

DATE: 1998.08.04
 DRAWN BY: J. Macdonald
 CHECKED BY: J. Macdonald
 PROJECT: 40-unit Transitional Housing
 SHEET: P-16

PHILIP
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ARCHITECT
INC

326 UPLANDS DR
KELOWNA BC
CANADA V1W 4J7
TEL (250) 764 4187
FAX (250) 764 4857
PHARMACIUM/BCA



DATE: 08/31/04



GENERAL CONDITIONS:
This drawing shall be used as a guide only. It is not intended to be a contract. The contractor shall be responsible for obtaining all necessary permits and approvals. The architect shall not be responsible for the construction of the building or for the safety of the building. The architect shall not be responsible for the design of the building or for the safety of the building. The architect shall not be responsible for the design of the building or for the safety of the building.

ARCHITECT SEAL:

DATE	ISSUED FOR
08/31/04	Final for O.P.
08/31/04	Final for Building Permit
08/31/04	Final for Construction
08/31/04	Final for Occupancy

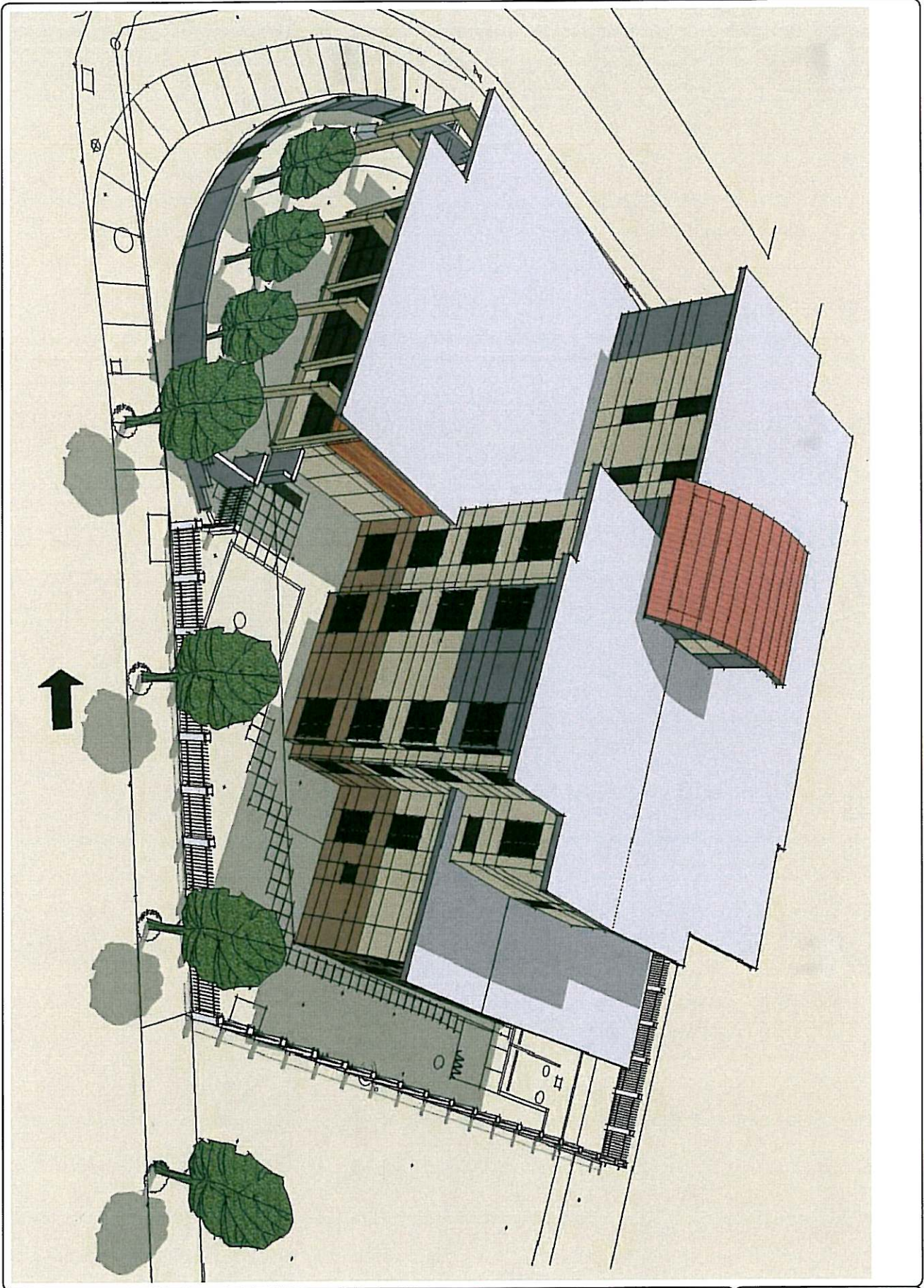
PROJECT TITLE:
Windsbridge
TRADITIONAL
HOUSING
326 Uplands Drive, Kelowna, BC
Georgian Island Health
Association - Kelowna
BC HOUSING

SHEET TITLE:
RENDERINGS

PHILIP MACDONALD ARCHITECT INC
326 UPLANDS DR
KELOWNA BC
CANADA V1W 4J7
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FAX (250) 764 4857

P-17





**PHILIP
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 FAX (250) 764 4887
 PHANCIOTESTR@MAC.A



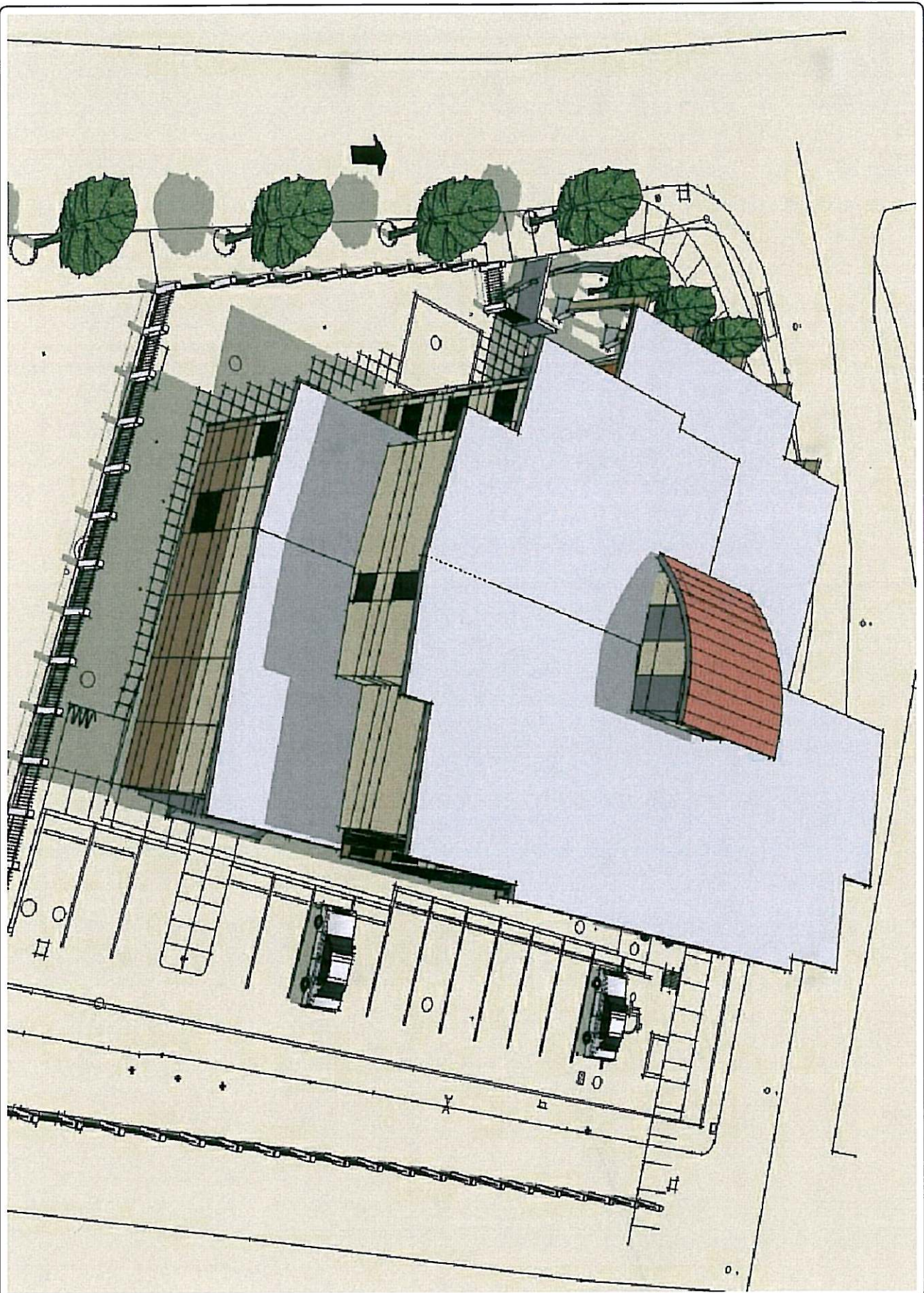
GENERAL CONDITIONS:
 These drawings shall be read in conjunction with the General Conditions of Contract for Building Services, which are available from the Architect's office. The drawings shall be read in conjunction with the General Conditions of Contract for Building Services, which are available from the Architect's office.

DATE	ISSUED FOR
2004/01/01	Final Design
2004/01/01	Final Design
2004/01/01	Final Design
2004/01/01	Final Design
2004/01/01	Final Design

**WINDSORIDGE
TRANSITIONAL
HOUSING**
 388 UPLANDS DRIVE, KELOWNA, BC
 PHANCIOTESTR@MAC.A

RENDERINGS
 PHILIP MACDONALD ARCHITECT INC
 388 UPLANDS DRIVE
 KELOWNA BC
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 TEL (250) 764 4187
 FAX (250) 764 4887
 PHANCIOTESTR@MAC.A

P-21



**PHILIP
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 CANADA V1W 4J7
 TEL (250) 764 4157
 FAX (250) 764 4857
 PHILIP@PHILIPMAC.COM



IDENTIFY ELEMENTS:
 This drawing is a rendering of a proposed building. It is not a construction document. It is intended to provide a visual representation of the proposed building and its surroundings. It is not to be used for construction purposes.

DATE	ISSUED FOR
20/01/2011	Issue for 01/11/2011
15/01/2011	Issue for 01/11/2011
10/01/2011	Issue for 01/11/2011
05/01/2011	Issue for 01/11/2011
01/01/2011	Issue for 01/11/2011

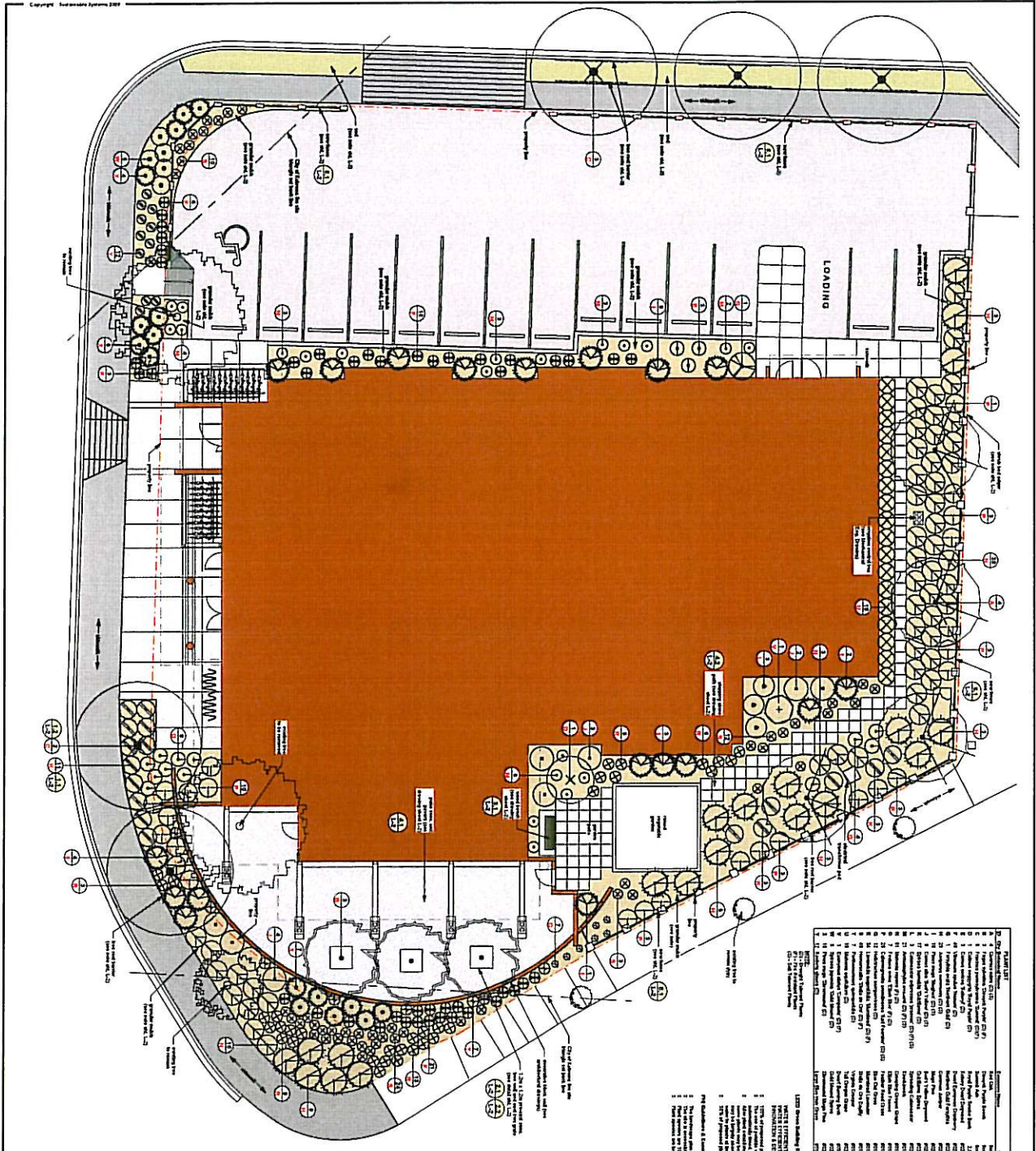
**Willowbridge
TRADING
INDUSTRIAL
HOUSING**
 336 UPLANDS DR
 KELOWNA BC V1W 4J7

SHEET TITLE:

RENDERINGS

CONTRACT RESPONSE: This drawing is a rendering of a proposed building. It is not a construction document. It is intended to provide a visual representation of the proposed building and its surroundings. It is not to be used for construction purposes.

P-24
 SHEET NUMBER:



SCHEDULE
 This forms part of development
 Permit # DPO9-0015

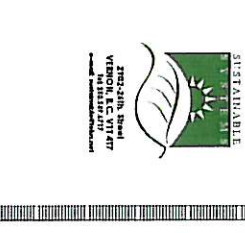
PLANT LIST	Quantity	Plant Name	Notes
1	1	Plant Name	Notes
2	1	Plant Name	Notes
3	1	Plant Name	Notes
4	1	Plant Name	Notes
5	1	Plant Name	Notes
6	1	Plant Name	Notes
7	1	Plant Name	Notes
8	1	Plant Name	Notes
9	1	Plant Name	Notes
10	1	Plant Name	Notes
11	1	Plant Name	Notes
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13	1	Plant Name	Notes
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39	1	Plant Name	Notes
40	1	Plant Name	Notes
41	1	Plant Name	Notes
42	1	Plant Name	Notes
43	1	Plant Name	Notes
44	1	Plant Name	Notes
45	1	Plant Name	Notes
46	1	Plant Name	Notes
47	1	Plant Name	Notes
48	1	Plant Name	Notes
49	1	Plant Name	Notes
50	1	Plant Name	Notes

1. All plants shall be supplied by the contractor and shall be of the quality and quantity specified in this schedule.
 2. All plants shall be delivered to the site in good health and condition.
 3. All plants shall be installed in accordance with the specifications and standards of the industry.
 4. All plants shall be watered and maintained for a period of 90 days after installation.
 5. All plants shall be protected from damage during construction and operation.
 6. All plants shall be replaced if they die or become damaged during the 90-day period.
 7. All plants shall be maintained in good health and condition throughout the life of the project.
 8. All plants shall be watered and fertilized as required.
 9. All plants shall be pruned and maintained as required.
 10. All plants shall be protected from frost and other weather conditions.

Project No: 08/07/07
 Date: 08/07/07
 Drawn: 11/07
 Checked: 02/07
 Approved: 02/07

LANDSCAPE PLAN
 Project No: 08/07/07
 Date: 08/07/07
 Drawn: 11/07
 Checked: 02/07
 Approved: 02/07

WILLOW BRIDGE
 Project No: 08/07/07
 Date: 08/07/07
 Drawn: 11/07
 Checked: 02/07
 Approved: 02/07



Project No: 08/07/07
 Date: 08/07/07
 Drawn: 11/07
 Checked: 02/07
 Approved: 02/07

Project No: 08/07/07
 Date: 08/07/07
 Drawn: 11/07
 Checked: 02/07
 Approved: 02/07

NOTES:
 The data contained herein is provided by the client and is not to be used for any other purpose without the written consent of the client.

REVISIONS
 No. | Date | Description
 1 | 01/15/2021 | Initial Design
 2 | 01/22/2021 | Client Review
 3 | 01/29/2021 | Final Design

No.	Date	Description
1	01/15/2021	Initial Design
2	01/22/2021	Client Review
3	01/29/2021	Final Design



DESIGN BY:
VETERINARIUM
 1001 W. 15th St.
 Fort Lauderdale, FL 33304

PROJECT NAME:
WILLOW BRIDGE
 ATLANTA, GA

SCALE:
DETAILS

Project No.:	2020-001	Scale:	1:1
Date:	01/15/2021	Client:	VMG
Drawn:	SK	Checked:	SK
Approved:	SK	Scale:	1:1

GENERAL NOTES:

1. ALL PLANTING SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING REFERENCES:

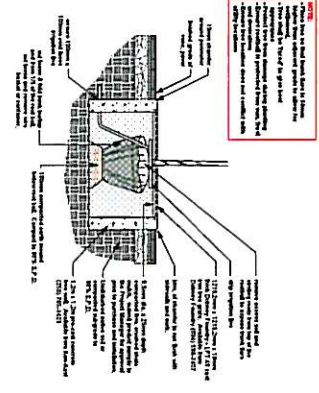
- 1.1 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 1.2 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 1.3 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 1.4 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 1.5 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 1.6 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 1.7 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 1.8 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 1.9 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 1.10 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.

2. ALL PLANTING SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING REFERENCES:

- 2.1 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 2.2 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 2.3 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 2.4 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 2.5 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 2.6 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 2.7 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 2.8 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 2.9 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 2.10 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.

3. ALL PLANTING SHALL BE INSTALLED AS SHOWN UNLESS OTHERWISE NOTED. PLANTING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOLLOWING REFERENCES:

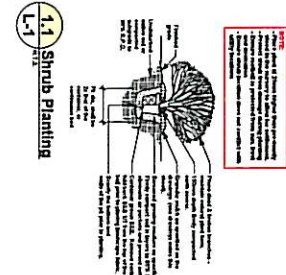
- 3.1 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 3.2 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 3.3 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 3.4 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 3.5 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 3.6 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 3.7 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 3.8 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 3.9 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.
- 3.10 THE NATIONAL LANDSCAPE ARCHITECTURE ASSOCIATION (NLA) MANUAL OF BEST PRACTICES FOR PLANTING, 3RD EDITION, 2019.



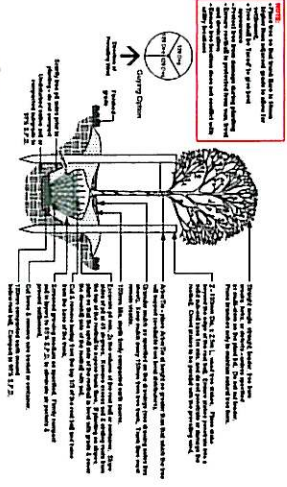
2.1 Tree Well Planting
 L-1



2.2 Tree Curb: 18" High x 12" W x 6" D
 L-1



1.1 Shrub Planting
 L-1



1.2 Tree Planting - 5cm CAL
 L-1



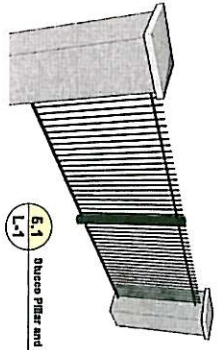
3.1 Bench: Landscape Form - 1800 x 600 x 120
 L-1



4.1 Interlocking Pavers: 180mm Concrete Pavers - 38mm Thick (15mm Bed)
 L-1



4.2 Hydrated Glass: 180mm Concrete Pavers - 38mm Thick (15mm Bed)
 L-1



5.1 Queue Pillar and Metal Picket Fences
 L-1

CITY OF KELOWNA
MEMORANDUM

Date: March 31, 2009
File No.: DP09-0015

To: Land Use Management Department (AW)

From: Development Engineering Manager

Subject: Proposed 40 Unit Transitional Housing 330 Boyce Cres. Pandosy St, Water St

Development Engineering has the following comments and requirements associated with this application. The road and utility upgrading requirements outlined in this report will be a requirement of this development.

The Development Engineering Technologist for this project is John Filipenko. ASCT

1. Domestic Water and Fire Protection

- (a) The existing lots are serviced with small diameter copper water services. The developer's consulting mechanical engineer will determine the domestic and fire protection requirements of this proposed development and establish hydrant requirements and service needs.
- (b) Only one service will be permitted for this development. The applicant, at his cost, will arrange for the decommissioning of all existing small diameters services and the installation of one new larger metered water service.
- (c) The estimated cost of this construction for bonding purposes is **\$9,000.00**
- (d) A water meter is mandatory for this development and must be installed inside the building on the water service inlet as required by the City Plumbing Regulation and Water Regulation bylaws. The developer or building contractor must purchase the meter from the City at the time of application for a building permit from the Inspection Services Department, and prepare the meter setter at his cost. Boulevard landscaping, complete with underground irrigation system, must be integrated with the on-site irrigation system.

2. Sanitary Sewer

- (a) The developer's consulting mechanical engineer will determine the development requirements of this proposed development and establish the service needs.
- (b) The site was pre-serviced with a 150mm diameter service that will be utilized for the proposed development. The applicant, at his cost, will arrange for the installation of an inspection chamber at the new property line as well the capping all existing unused services at the main. Only one service will be permitted for this development. The estimated cost for construction for bonding purposes is **\$2,000.00**

3. Storm Drainage

- (a) The developer must engage a consulting civil engineer to provide a storm water management plan for the site, which meets the requirements of the City Storm Water Management Policy and Design Manual. The storm water management plan must also include provision of lot grading plan, minimum basement elevation (MBE), if applicable, and provision of a storm drainage service for the development and /or recommendations for onsite drainage containment and disposal systems. The on-site drainage system may be connected to an existing drainage system with an overflow service.
- (b) Provide a lot-grading plan.

4. Road Improvements

- (a) Boyce Crescent: frontage must be upgraded to an urban standard (SS-R3) along the full frontage of this proposed development, modified to including a barrier curb and gutter, 2.4m separate sidewalk, storm drainage system including a side-inlet basin, 8.5 meters of pavement width. Also required is a landscaped boulevard complete with underground irrigation system, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.
The estimated cost of this construction for bonding purposes is **\$31,000.00**
- (b) Water Street: The change in road classification (proposed 15.0m R.O.W.) will make it necessary to remove the existing sidewalk and to construct, to a modified urban standard (SS-R4), a barrier curb and gutter, separate sidewalk, driveway crossing, storm drainage facilities, and fillet pavement. Also required is a landscaped boulevard complete with underground irrigation system, street lighting and re-location or adjustment of utility appurtenances if required to accommodate the upgrading construction.
The estimated cost for this construction for bonding purposes is **\$37,000.00**.

5. Road Dedication and Subdivision Requirements

By registered plan to provide the following:

- (a) Dedicate an additional road allowance widening along the full frontage of Boyce Crescent to achieve a right-of-way width of 18.0 meters.
- (b) A reduction to the Water Street right-of-way width from the existing 20.0m to the proposed 15.0m will require a 5.0m wide road closure.
- (c) Road closure of the existing lane.
- (d) Provide corner rounding dedication of 6 m radius at the corner of Water Street and Boyce Crescent.
- (e) Provide all necessary Statutory Rights-of-Way for any utility corridors required, including those on proposed or existing City Lands.
- (f) Lot consolidation.
- (g) If any road dedication or closure affects lands encumbered by a Utility (such as Gas, Hydro, etc.) please obtain the approval of the utility. Any works required by the utility as a consequence of the road dedication or closure must be incorporated in the construction drawings submitted to the City's Development Manager.

6. Electric Power and Telecommunication Services

The electrical and telecommunication services to this building must be installed in an underground duct system, and the building must be connected by an underground service. It is the developer's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for these services, which would be at the applicant's cost.

7. Engineering

Road and utility construction design, construction supervision, and quality control supervision of all off-site and site services including on-site ground recharge drainage collection and disposal systems, must be performed by an approved consulting civil engineer. Designs must be submitted to the City Engineering Department for review and marked "issued for construction" by the City Engineer before construction may begin.

8. Geotechnical Report

As a requirement of this application and building permit approval the applicant must provide a comprehensive geotechnical report prepared by a Professional Engineer qualified in the field of hydro-geotechnical survey to address the following:

- (a) Area ground water characteristics, including water sources on the site.
- (b) Site suitability for development; i.e. unstable soils, foundation requirements etc.
- (c) Drill and/or excavate test holes on the site and install piezometers if necessary. Log test hole data to identify soil characteristics, identify areas of fill if any. Identify unacceptable fill material, analyse soil sulphate content, identify unsuitable underlying soils such as peat, etc. and make recommendations for remediation if necessary.
- (d) List extraordinary requirements that may be required to accommodate construction of roads and underground utilities as well as building foundation designs.
- (e) Additional geotechnical survey may be necessary for building foundations, etc.

9. Survey Monuments and Iron Pins

If any legal survey monuments or property iron pins are removed or disturbed during construction, the developer will be invoiced a flat sum of \$1,200.00 per incident to cover the cost of replacement and legal registration. Security bonding will not be released until restitution is made.

10. Bonding and Levy Summary(a) Bonding

Water Street frontage improvements	\$ 37,000.00
Boyce Crescent frontage improvements	\$ 31,000.00
Service Upgrades	\$ 11,000.00

Total Bonding **\$ 79,000.00**

NOTE: The bonding amounts shown above are comprised of estimated construction costs escalated by 140% to include engineering design and contingency protection and are provided for information purposes only. The owner should engage a consulting civil engineer to provide detailed designs and obtain actual tendered construction costs if he wishes to do so. Bonding for required off-site construction must be provided and may be in the form of cash or an irrevocable letter of credit, in an approved format.

The owner must also enter into a servicing agreement in a form provided by the City.

11. Site Related Issues

- (a) Direct vehicular access onto Pandosy Street will not be permitted.
- (b) Provide access to the proposed parking area from the Water Street frontage.

12. Administration Charge

An administration charge will be assessed for processing of this application, review and approval of engineering designs and construction inspection. The administration charge is calculated as (3% of Total Off-Site Construction Cost plus GST) in the amount of **\$1,911.00** (\$1,820.00 + 91.00 GST)

Steve Muenz, P. Eng.
Development Engineering Manager
JF/jf